

APPLICATION No.

19079

19080



# NEW PLYMOUTH DISTRICT COUNCIL

## PLANNING & ENVIRONMENTAL SERVICES DEPARTMENT

PRIVATE BAG 2025 NEW PLYMOUTH 4240: PHONE 06 759 6060 FAX 06 759 6118

### APPLICATION FOR BUILDING CONSENT AND/OR PROJECT INFORMATION MEMORANDUM (PIM)

Application Type: Tick Boxes Where Appropriate

Combined Building Consent & PIM

Project Information Memorandum Only

Building Consent Only\* Quote PIM Number

Plan and Specification Confidentiality

\* A PIM is required before a building consent can be issued

(not available for minor buildings)

FOR OFFICE USE

Property ID

00000000

Scale Code

0000

Valuation No.

000000/000.00

### DETAILS OF PROPERTY TO WHICH THIS APPLICATION APPLIES:

SITE ADDRESS:

71

Ngamotu Rd.

Street No.

Street

N. PLYMOUTH.

Town/District

Lot:

3

DP:

4343.

or Section No.

District:

OWNER'S NAME

JOHN RITCHIE

Surname or company name

OWNER'S POSTAL ADDRESS - if different from 'SITE ADDRESS'

7a

TELFORD Tce.

Street No.

Street/PO/Private Bag

OAKURA.

Town/District

### APPLICANT'S DETAILS (Second Person):

Tick this box if the applicant is the owner

If the applicant is *not* the owner, please give applicant details:

Surname

First Names

D. J. PRICE LTD.

RECEIVED  
4 JUN 1997  
CUSTOMER SERVICE  
CENTRE

AS 11.55

**MAIL ADDRESS FOR ALL CORRESPONDENCE RELATING TO THIS APPLICATION**

NAME:

D. J. PRICE LTD.

Surname or company name

DAVID

PRICE.

First names

ADDRESS:

634

Street No.

DEVON RD.

Street/PO /Private Bag

N. PLYMOUTH.

Town/District

PHONE:

46 7598338

STD

FAX:

06 751154.

STD

**DESCRIPTION OF BUILDING WORK AND USE:**

Description e.g. garage, deck, dwelling, shop, plumbing and drainage, sewerage connection

DOMESTIC GARAGE.

USE - if different from description

**TYPE OF WORK:**

- Alteration  Addition  Demolition  Plumbing and Drainage Only   
Relocation  Change of Use  New Building

**TOTAL COST OF PROJECT:**

\$ 6700 • 00 Inc GST

**TOTAL COST OF PLUMBING & DRAINAGE:**

\$ 250 • 00 Inc GST

**PROJECT DETAILS: Category of Work**

- Domestic  Farm   
Commercial  Industrial

**INTENDED LIFE OF BUILDING:**

(Under the Building Act all buildings shall have a minimum life of 50 years unless specified)

Less than 50 years

50 years or more

Specify intended life  years

**AREA OF NEW BUILDING WORK:**

36 m<sup>2</sup>

**DECLARATION - This application is to carry out new building works is made by me as owner of the property.**

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

or I am the applicant and have been authorized by the owner to make this application for new building works

Signature: \_\_\_\_\_ Date: 4/6/97

# AMENDMENTS

DATE: 20/6/97.

JOB: RITCHIE

CONSENT NO: Be 19080

ADDRESS: 71 NGAMETU RD  
N.P.

DEPARTMENT	COMMENT	NOT APPROVED DATE	APPROVED DATE
DISTRICT PLANNING			<i>Brayton</i> <i>20/6/97.</i>
RECORDS			
BUILDING			
PUBLIC HEALTH			
STREETWORKS			
PLUMBING & DRAINAGE			
ENVIRONMENTAL HEALTH			
STRUCTURAL			

THE CHANGES COVERED BY THIS AMENDMENT ARE:

- 1) SEWER POSITION CONFIRMED ✓
- 2) ENTRY POSITION OF GARAGE FOR TOWN PLANNING.

Call Number	AQ962	Location	71
Title		Address	EGANOTE ROAD
Customer	JEFF BISHOP	City	NEW PLYMOUTH
Phone	026490000		
Customer Address			

**Subject**

Division	Building	Order Number	
Service	Inspection	Property ID	BC 19000
Classification	Request		

**Comments**

Authorized Officer: *J. Hughes* Date: *3/7/97* Time: *4:10pm*

15:18 - 02/07/97 - BRENDA PHILLIPS

FOUNDATION, THURSDAY LATE PM

*Footings Ground firm.  
 D12 Ring Steel.  
 DPM in place  
 o/k to pour concrete*

COVER SHEET

SH 142A

BC Application No: 19080 X Date Received: 04/06/97  
 Related: PIM Application No: 19079 X Pim only Area: NPD NP DISTRICT

Name: RITCHIE, John Colin Campbell  
 Address: 71 NGAMOTU ROAD  
 NEW PLYMOUTH

11/6

Lot: 3  
 DP: 4343

Assessment: 11771/674.00

Property ID: 025106

Action No	Action	Estab	Date Returned
1	Receive/Check Information	CLERICAL	
2	Compliance with District Plan	PLANNING	
3	Plot Application	RECORDS	
4	Vehicle Crossings/Footpath Damage	STREET WKS	
5	Compliance with Building Act	BUILDING	
6	Connection/Location	SEWER/WATER	
7	Compliance with BA	PLUMB/DRAIN	
8	Approval	BUILDING	

E=N=D==O=F==R=E=P=O=R=T====E=N=D==O=F==R=E=P=O=R=T-E=N=D==O=F==R=E=P=O=R=T====

Drainage Plans Enclosed Yes/No

Plans Taken Yes/No

Letter  
11/6

FRITCH WILD  
 20 JUN 1997  
 6-6-97 8:39

	More Info Required	Applicant Phoned	Application Correct	No Encls (in duplicate)
Records			W	3
Buildings			W	
P & D			W	
EHO			W	
Engineer				
Planning	RW		W 20/6/97	
Sewer/Water				
Crossing				

Approved

Not Approved

W 23-6-97  
 W 10-6-97

COVER SHEET

*25/6/97 142A*

BC Application No: 19080  
 Related: PIM Application No: 19079

Date Received: 04/06/97  
 Area: NPD NP DISTRICT

Name: RITCHIE, John Colin Campbell  
 Address: 71 NGAMCTU ROAD  
 NEW PLYMOUTH

Lot: 3  
 DP: 4343  
 Property ID: 025106

Assessment: 11771/674.00

Action No	Action	Estab	Date Returned
1	Receive/Check Information	CLERICAL	
2	Compliance with District Plan	PLANNING	
3	Plot Application	RECORDS <i>ll</i>	<i>(V)</i>
4	Vehicle Crossings/Footpath Damage	STREET WKS	
5	Compliance with Building Act	BUILDING	
6	Connection/Location	SEWER/WATER	
7	Compliance with BA	PLUMB/DRAIN	
8	Approval	BUILDING	

*ROW*

E=N=D==O=F==R=E=P=O=R=T====E=N=D==O=F==R=E=P=O=R=T=E=N=D==O=F==R=E=P=O=R=T====

*What way are the doors facing - if one row do my house*

Not Approved Planning*		Actions	Date/Initial
<i>lu</i>	Reason(s) <input type="checkbox"/> Bulk/Location <input type="checkbox"/> Resource Consent <input type="checkbox"/> Trees/Heritage <input type="checkbox"/> Parking/Load <input type="checkbox"/> Landscaping <input type="checkbox"/> Hazard		
Sign/Date	Other _____		
<b>* S35(1A) to Building Act to apply if Building Consent Issued</b>			
Approved Planning		Actions	Date/Initial
<i>BGA</i> <i>12/6/97</i>	Building Consent Conditions Required <input type="checkbox"/> S36 BA <input type="checkbox"/> Landscaping <input type="checkbox"/> Trees/Heritage <input type="checkbox"/> S37 BA <input type="checkbox"/> RC Condition <input type="checkbox"/> _____		
Sign/Date	Other _____		

### Comments/Letters

Put "quotation marks" at start/finish of letter to be typed - Precede letters to be sent ASAP with "Urgent"

Text	Initial
'From the information provided it	
appears that access to the garage is	
from the right of way. Please supply	
information that the property has legal	
right to the right of way.	

COVER SHEET

SS4/142-A

EC Application No: 19080  
Related: PIM Application No: 19079

Date Received: 04/06/97  
Area: NPD NP DISTRICT

Name: RITCHIE, John Colin Campbell  
Address: 71 NGAMOTU ROAD  
NEW PLYMOUTH

Lot: 3  
DP: 4343

Assessment: 11771/674.00

Property ID:025106

Action No	Action	Estab	Date Returned
1	Receive/Check Information	CLERICAL	
2	Compliance with District Plan	PLANNING	
3	Plot Application	RECORDS	①
4	Vehicle Crossings/Footpath Damage	STREET WKS	
5	Compliance with Building Act	BUILDING	
6	Connection/Location	SEWER/WATER	
7	Compliance with BA	PLUMB/DRAIN	
8	Approval	BUILDING	

E=N=D==O=F==R=E=P=O=R=T====E=N=D==O=F==R=E=P=O=R=T-E=N=D==O=F==R=E=P=O=R=T====

Public Health  
Crossing

More Info Required	Applicant Phoned	Application Correct	No Encls (in duplicate)
		2/6	

11 June 1997

BC 19080

D J Price Ltd  
634 Devon Road  
NEW PLYMOUTH

Miss Williams  
ID 025106

Dear Sir

**GARAGE - 71 NGAMOTU ROAD**

I acknowledge receiving your Building Consent Application dated 4 June 1997, to construct a garage at 71 Ngamotu Road, being Lot 3, DP 4343, but wish to advise that the plans and specifications submitted do not fully comply with the Building Code and/or legislation. Further processing of this Consent will be suspended until amendments or the required additional information is received. The permitted period of suspension will be up to 20 working days within which time it is considered all information should have been submitted.

**PLANNING**

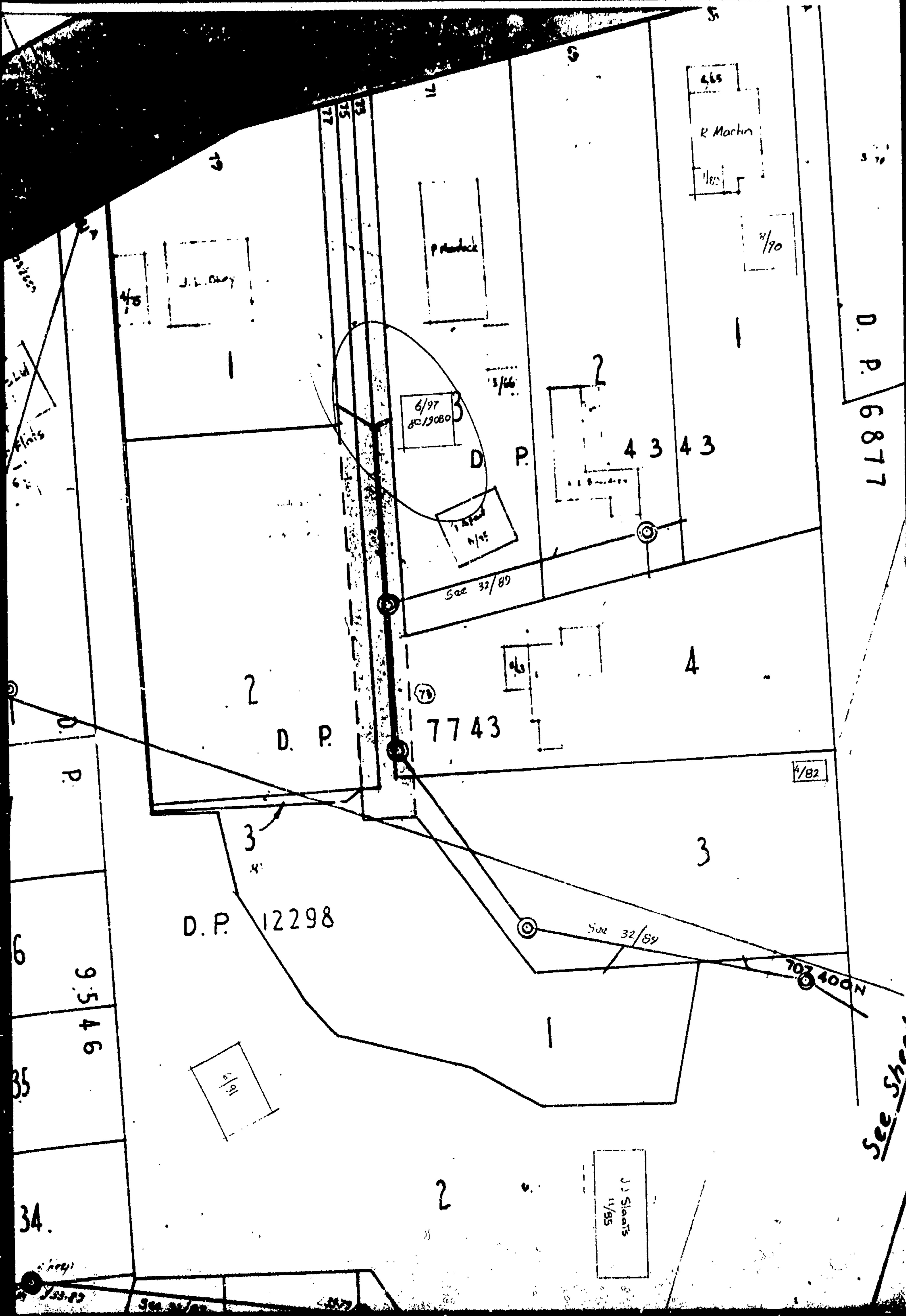
- *From the information provided it appears that access to the garage is from the right-of-way.*
- *Please supply information that the property has legal rights to the right-of-way.*

On receipt of this information further consideration will be given to the application and if found to be satisfactory the consent will be issued on payment of the required fees.

Should you envisage difficulty in providing additional information within the given time or wish to discuss the matter Council Officers will be pleased to provide assistance.

Yours faithfully

G L Tipler  
**SENIOR CONSENTS OFFICER : APPROVALS**



D. P. 6877

465  
R. Martin

J.L. Gray

P. Mackay

6/97  
8019080

1/95

See 32/89

4 3 4 3

D. P.

7743

4/82

D. P. 12298

See 32/89

707 400N

9.546

J.J. Slatts  
11/95

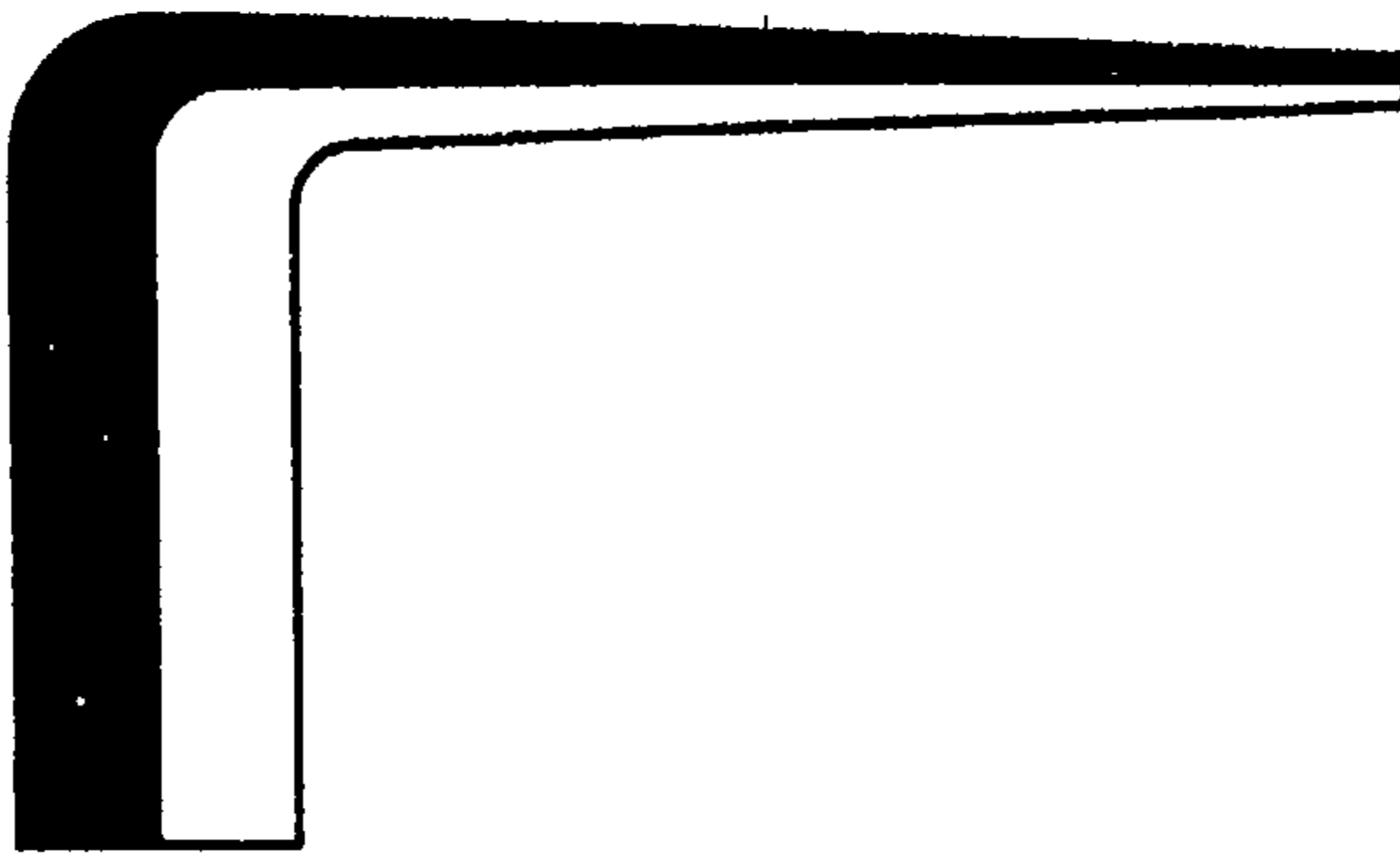
See Show

See 32/89

See 32/89

See 32/89





**O'Loughlin Taylor Spence Ltd**  
**CONSULTING ENGINEERS**

St Elmo Courts  
47 Hereford Street  
Christchurch 1  
P.O. Box 2373  
Telephone 379-2734  
Fax 379-1642

J.S. O'Loughlin BSc BE (Hons) MIPENZ  
J.S. Spence BE (Hons) MiPENZ

**PRODUCER STATEMENT**

for

**WALL FRAMING**

for

**VERSATILE STANDARD GARAGES**

Issued by O'Loughlin Taylor Spence Ltd in respect of the wall framing as described on Standard Versatile Garages drawings File CH3900 Sheet 107 dated 25th June 1996.

We certify that the design has been carried out in accordance with the standards listed in Section B1/VM1 of the approved documents issued by the Building Industry Authority.

We believe as an independent professional design practice, covered by a current policy of Professional Indemnity insurance to a value of \$200,000, that subject to the exclusions noted below, the buildings as proposed to be constructed, comply with the relevant provisions of the building code.

1. This consulting practice has not been engaged to determine the foundations conditions which are excluded from this certification.
2. This consulting practice has not been engaged for engineering inspection procedures during construction.

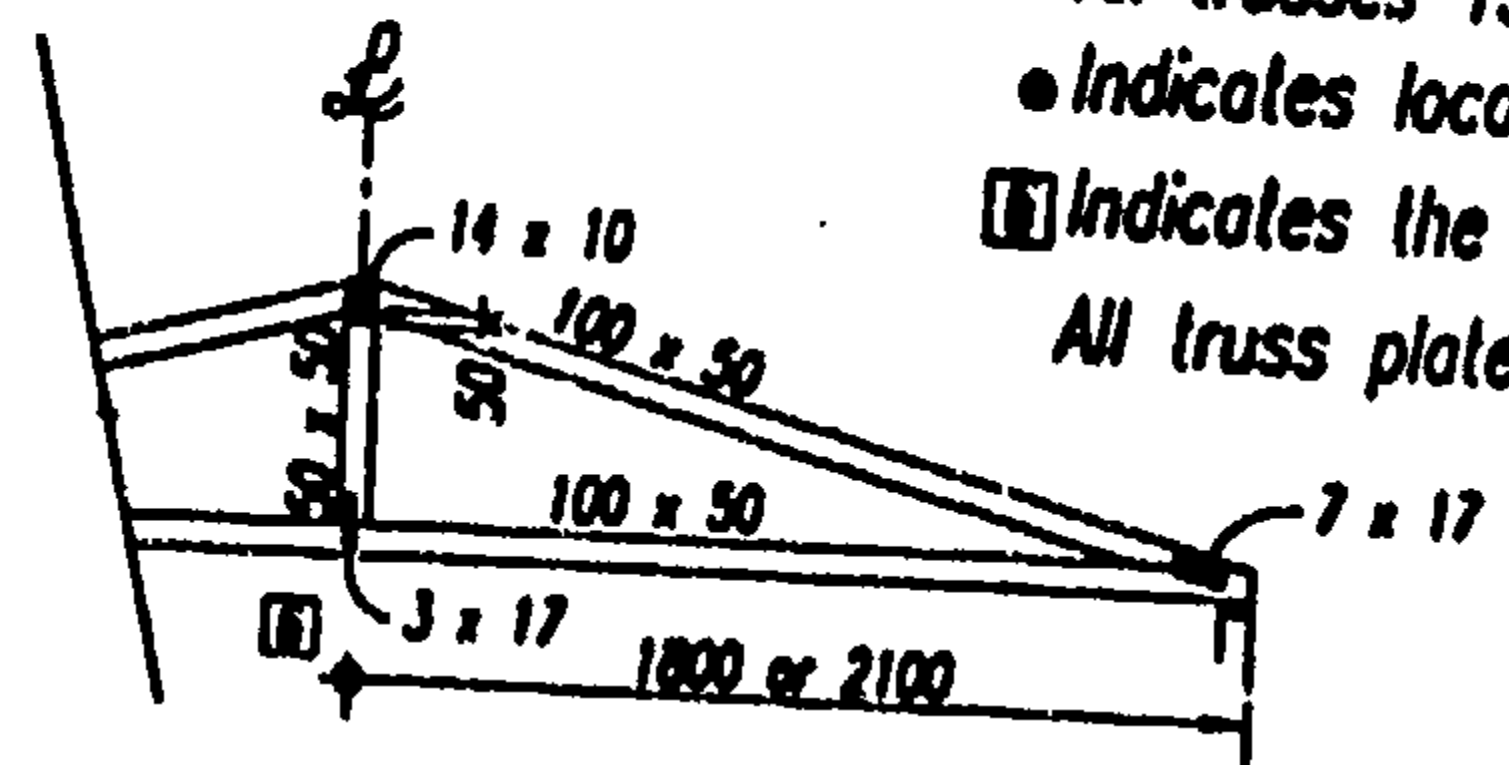
Signed:

O'Loughlin Taylor Spence Ltd  
J S O'Loughlin Director

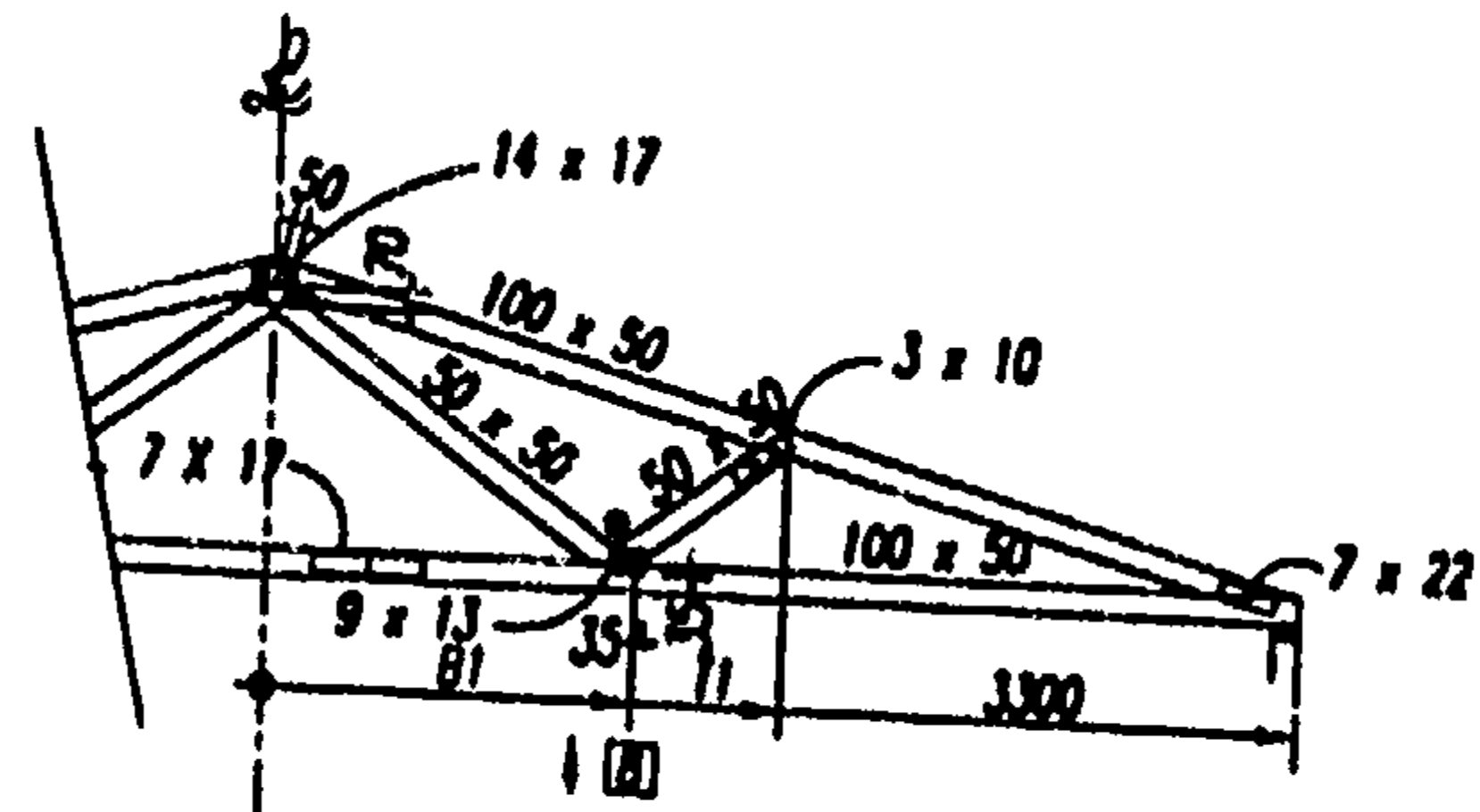
Registered Engineer  
Registration No. 5032

Dated 4 July 1996

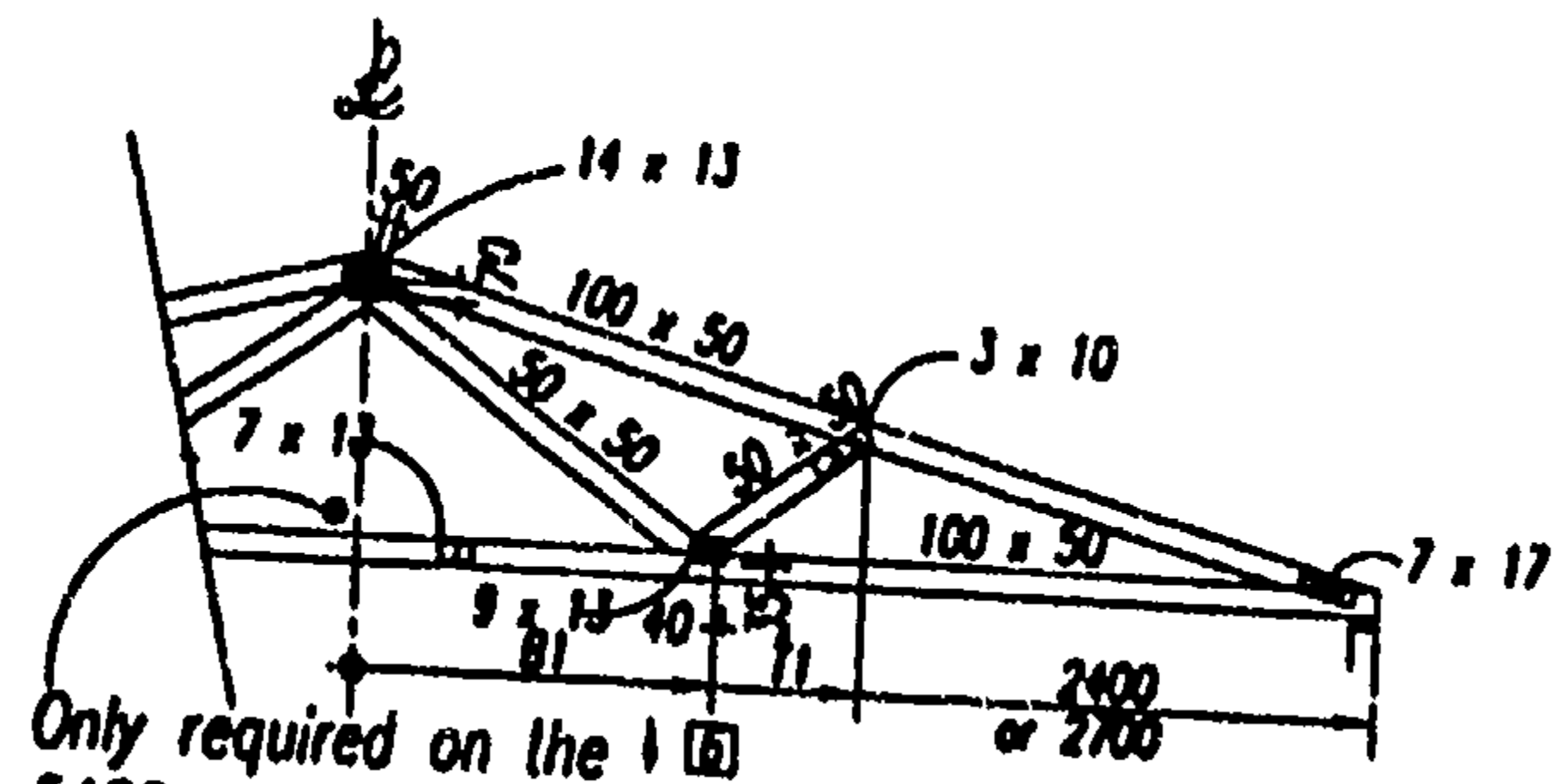
**NOTE:**  
 All trusses 15° pitch  
 ● Indicates location of Bottom Chord Brace  
 □ Indicates the Truss Camber (typical)  
 All truss plates are Gang Nail GN10 type



**2400 to 4200 SPAN INCLUSIVE**

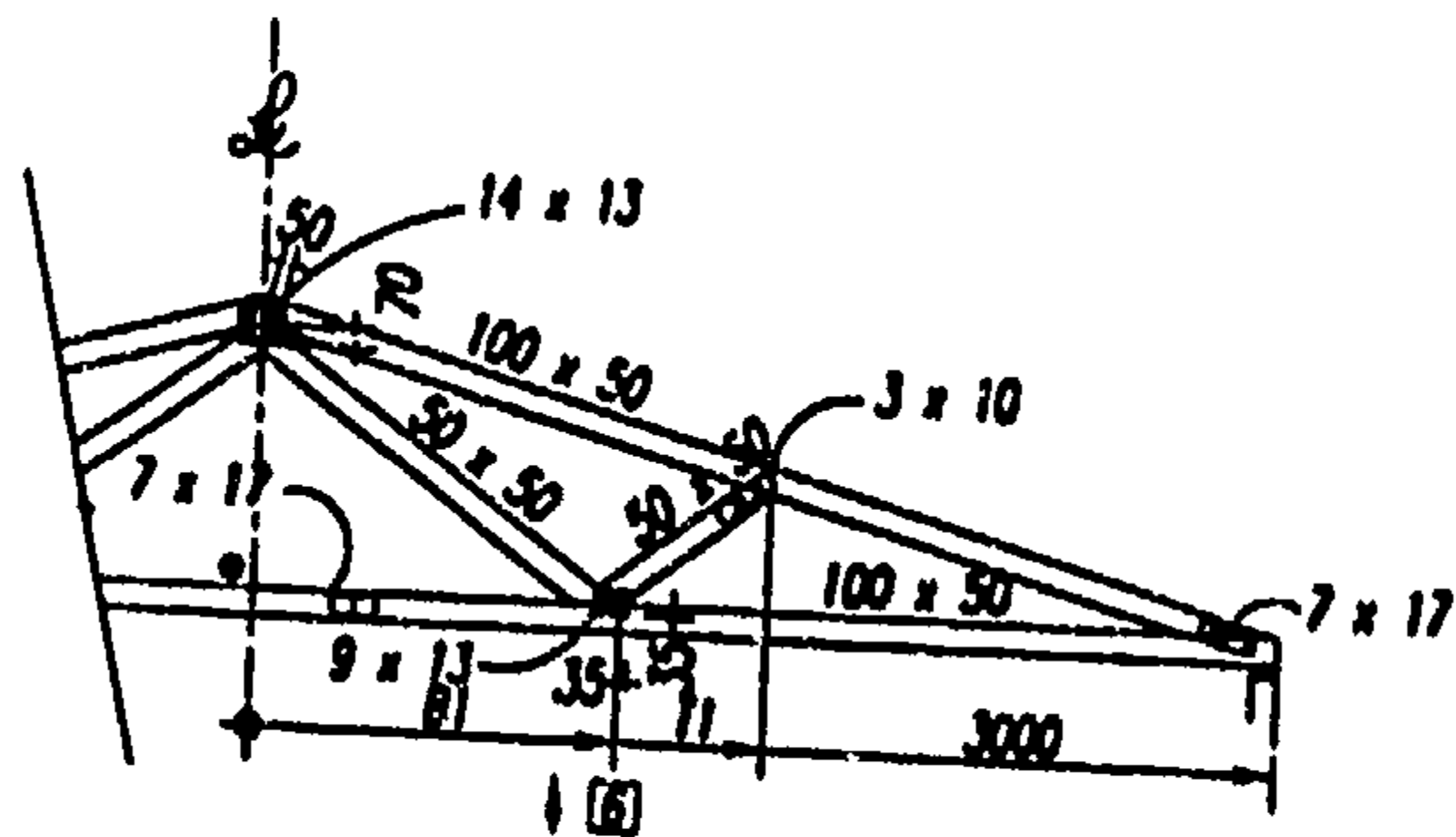


**6600 SPAN**

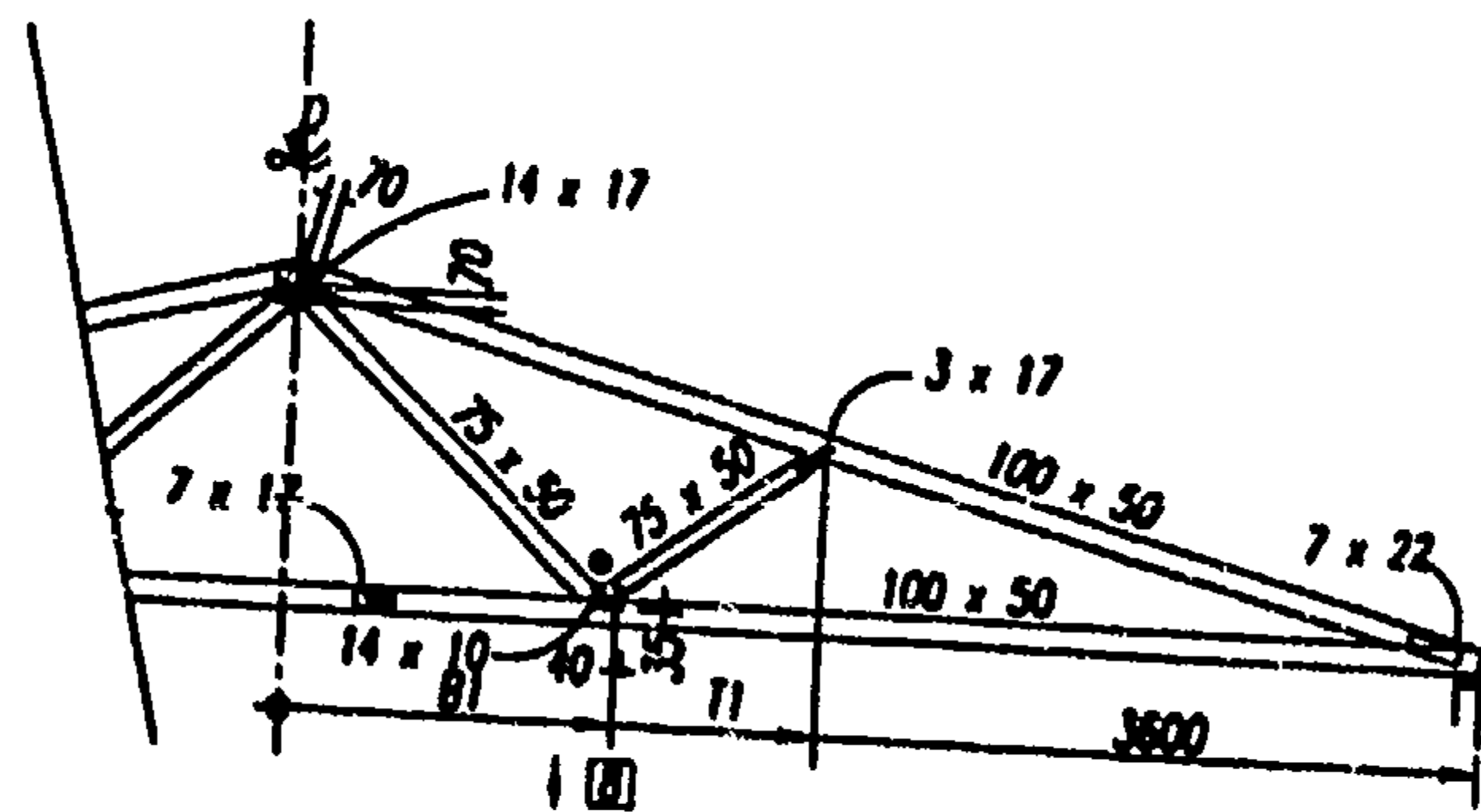


Only required on the □  
 5400 span

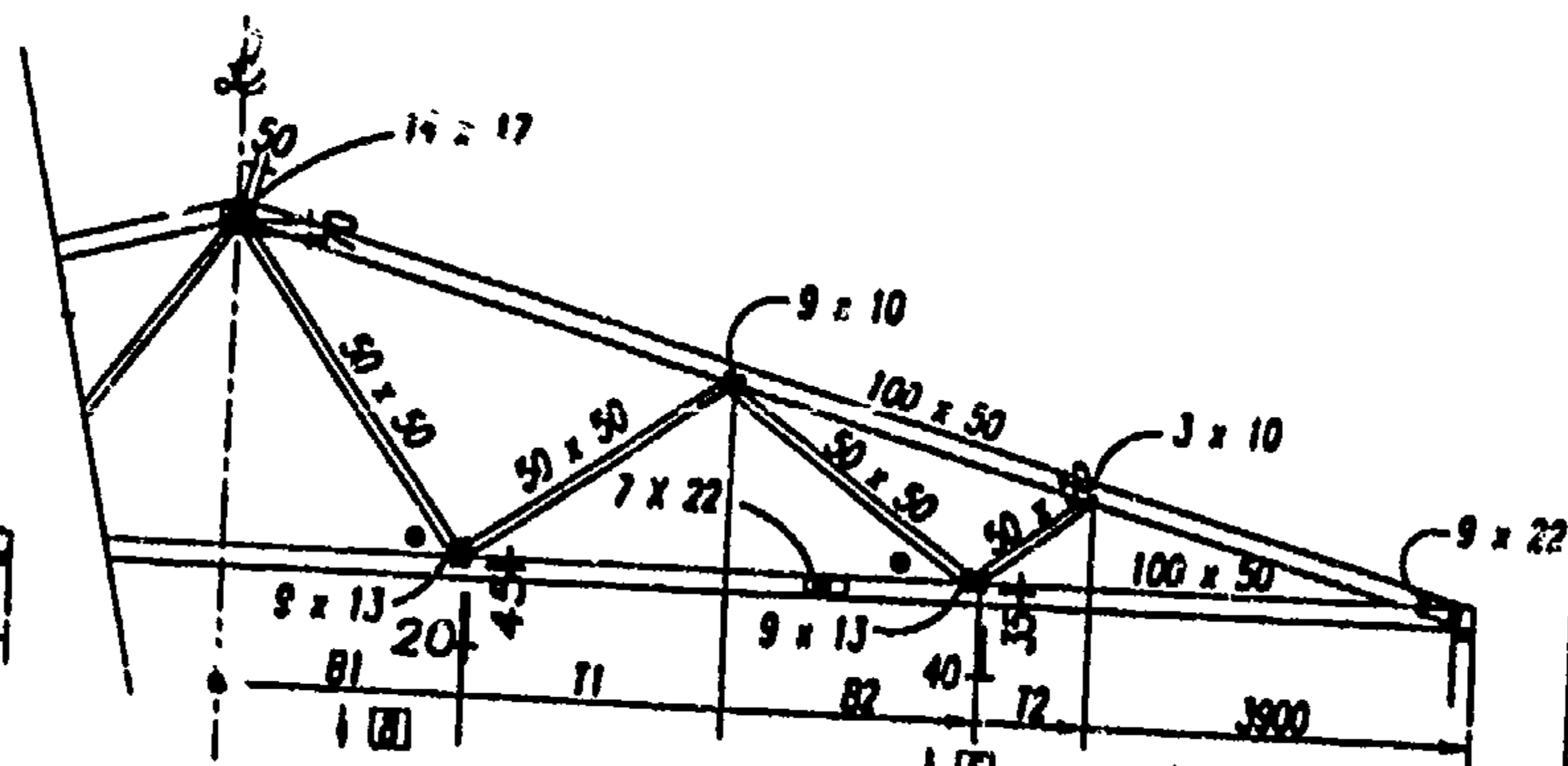
**4800 & 5400 SPAN**



**6000 SPAN**



**7200 SPAN**



**7800 SPAN**

**SPAN AND LOAD CHART**

Live Load = 0.25kPa (top chord)  
 Dead Load = 0.20 kPa (top chord)  
 (Iron Roof, no ceiling)  
 Wind Load Cpi = 0.50 max  
 Cpe = 0.80 max  
 Purlin Spacing = 1100 max

SNOW LOAD (Kpa)	WIND LOAD	TRUSS CENTRES
NIL	Low	2400
0.30	Low	2400
0.40	Low	2400
0.50	High	2100
0.60	Very High	1800
0.70	Very High	1600
0.80	Very High	1450
0.90	Very High	1300
1.00	Very High	1200

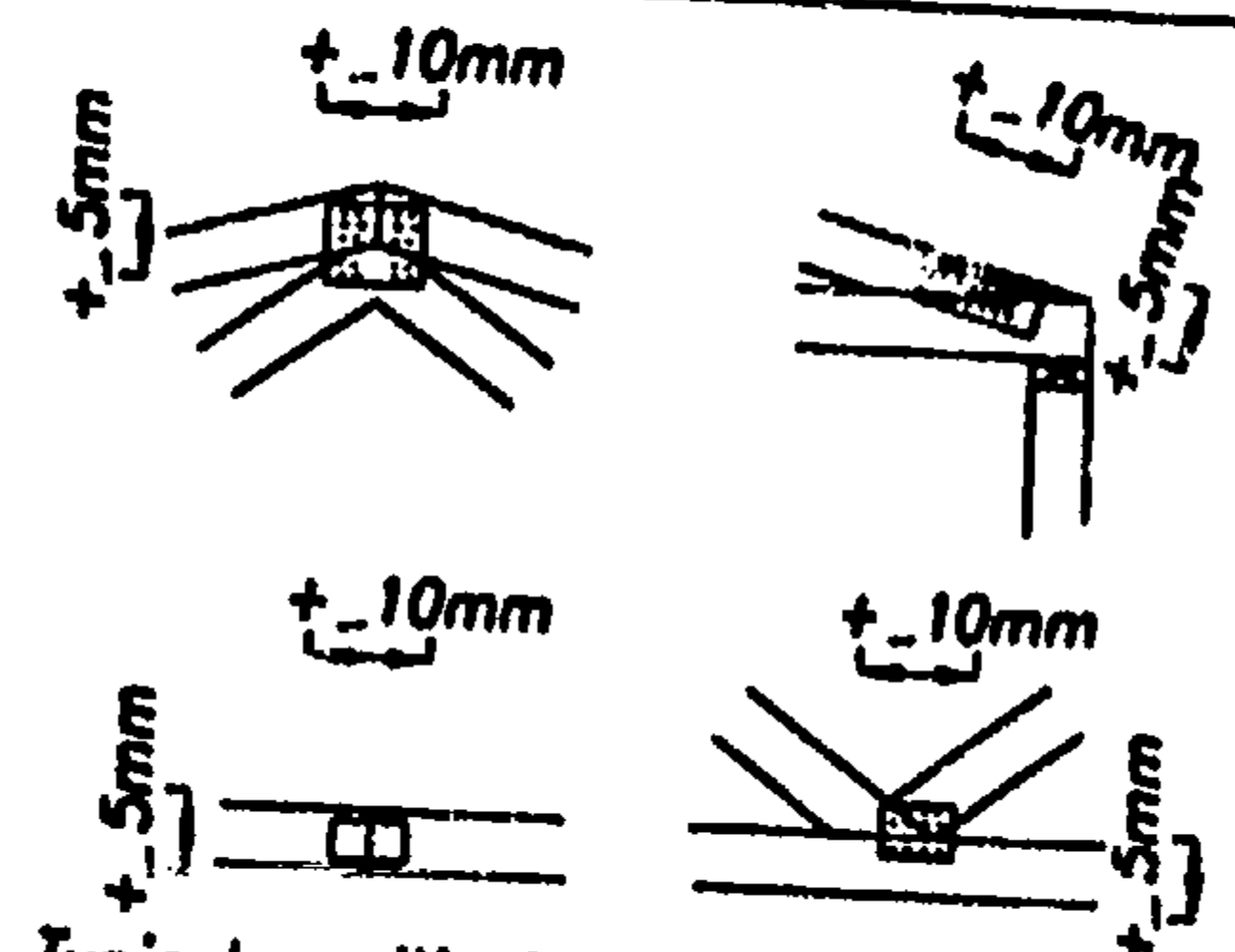
**TIMBER:**

The specification of timber shall be as follows:

Grading: No 1 Framing Grade Radiata Pine  
 or Douglas Fir.

Treatment: T.P.A. Specification H1

Moisture Content: Green



Typical positioning tolerances for plates

**MANUFACTURING TOLERANCES.**

**NOTE:**

- Plates are to be fully pressed home on both sides of joints. The plate axis must be located in the specified or indicated direction.
- Joints are to be lightly bulled along one edge. The maximum gap between surfaces must not exceed 3mm at time of fabrication.

**GANG-NAIL - LUMBERLOK**  
 designed by  
**TIMBER ENGINEERING CONSULTANTS**  
 Auckland Office: 3-5 Selwyn Street, East Tamaki, P.O. Box 58814, Auckland. Phone 3741100, Auckland.  
 Christchurch Office: 100-102, Main Street, P.O. Box 8287, Christchurch. Phone 348-0491 Fax 348-0414

**VERSATILE GARAGE DRAWINGS**

**DRAWING TRUSS DETAILS**

DESIGN & DRAWN: S.A. COLE & M.M.  
 CHECKED BY: CH3900  
 DATE: 2 November 1995  
 SHEET NO: 101

PRODUCER STATEMENT – DESIGN  
GANG-NAIL (NZ) Ltd

ISSUED BY: Stephen Anthony Coll on behalf of GANG-NAIL (NZ) Ltd.

TO: VERSATILE GARAGES

IN RESPECT OF: Structural Details for Standard Garages

GANG-NAIL (NZ) Ltd has been engaged by VERSATILE GARAGES to provide the design of Roof Trusses, Truss Fixings and Roof and Wall Bracing in respect of the requirements of:

Clause B1 of the Building Regulations 1992 for that part of the building work. The design has been prepared in accordance with:

NZS4203:1992  
NZS3603:1990  
NZS3604:1990

(respectively) of the approved documents issued by the Building Industry Authority and the work as described on  
Timber Engineering Consultants

Drawings titled : Versatile Garage Designs  
and numbered: CH3900 Sheets 101 - 105 with the general specifications contained in the Gang Nail Manual

As independant design professionals covered by a current policy of Professional Indemnity Insurance to a minimum value of \$200,000

I BELIEVE ON REASONABLE GROUNDS that subject to :

1. the verification of all design assumptions detailed in the drawings  
and 2. all propriety products meeting the performance specification requirements.

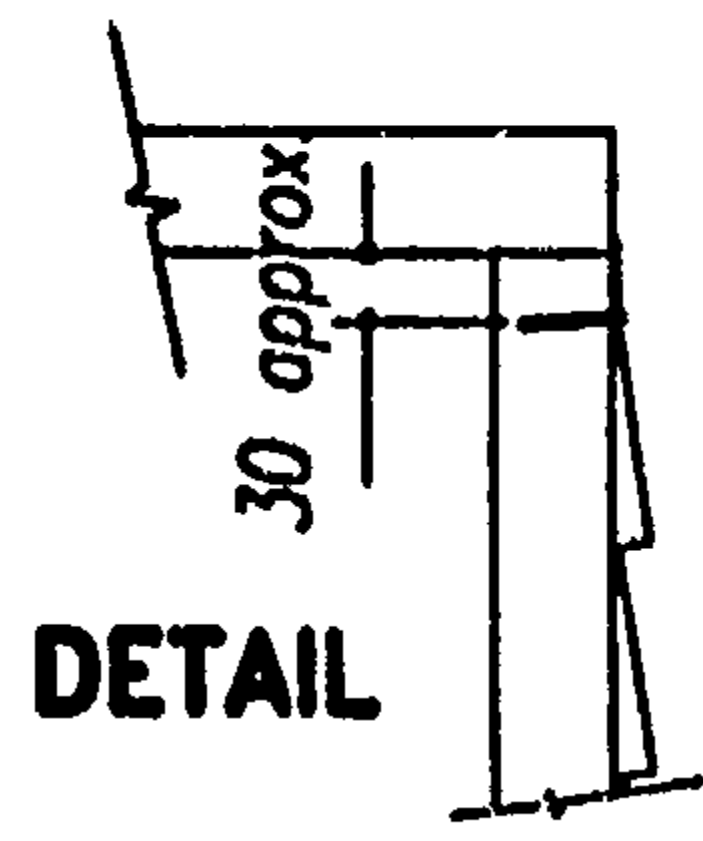
The drawings, specifications, and other documents according to which the building is proposed to be constructed comply with the relevant provisions of the Building Code.

Stephen Anthony COLL



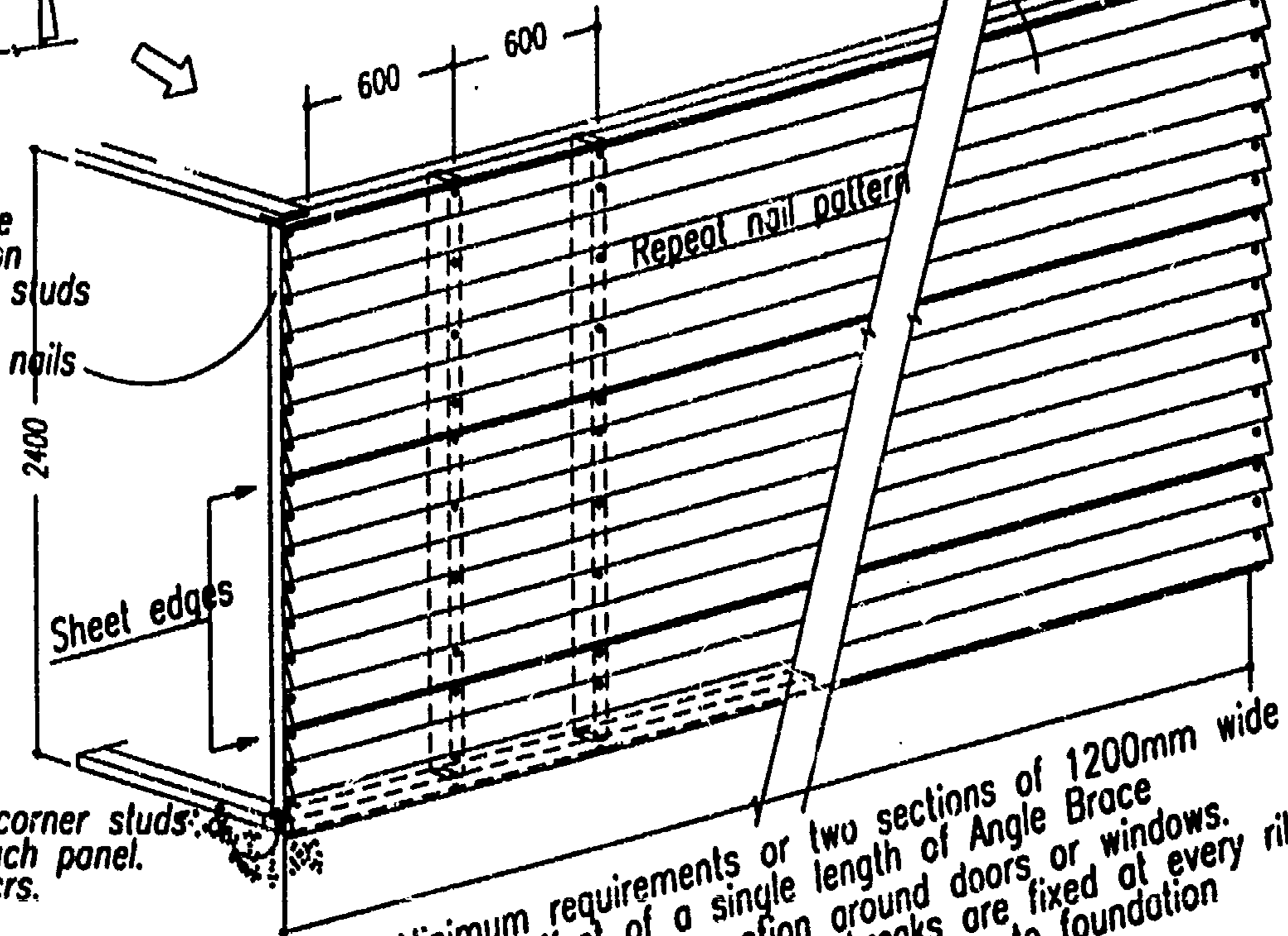
for GANG-NAIL (NZ) Ltd  
Kotzikas Place  
Christchurch. NZ.

Date: 23 April, 1993.

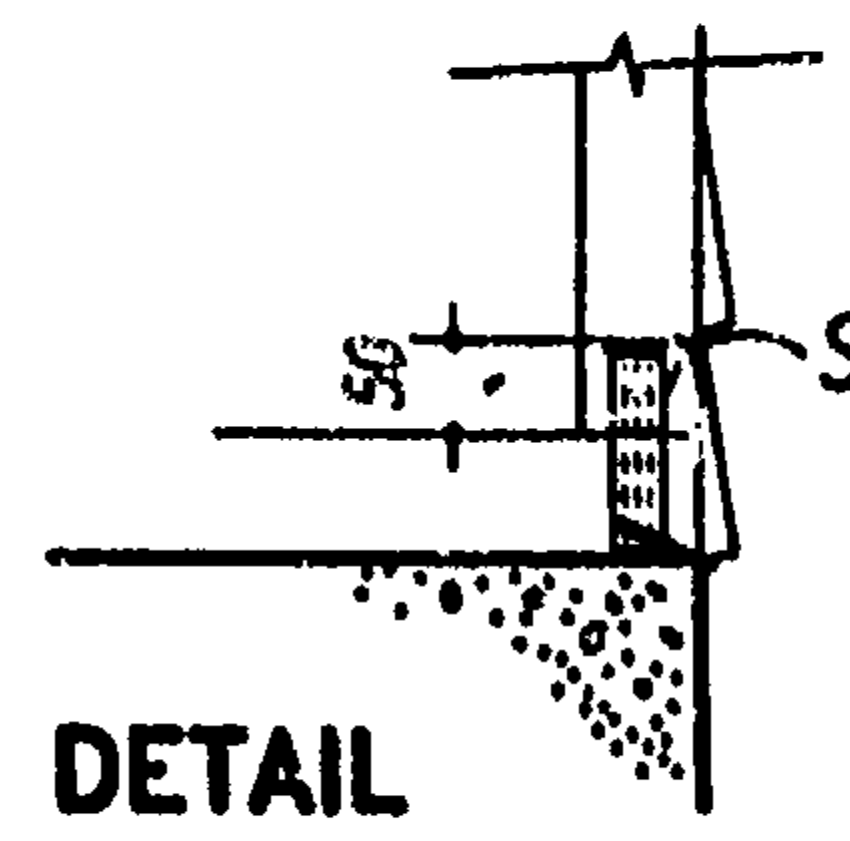


Standard Steel Sheet Weatherboard Cladding

Conventional Versatile stud wall construction ie 100 x 50 timber studs notched into plates. Fix with 2 x 90mm nails



Pair Strap nails at corner studs studs at ends of each panel. ie 2400 or 1200 crs.



2400mm Minimum requirements or two sections of 1200mm wide panels provides bracing effect of a single length of Angle Brace ie. Allows for break in wall section around doors or windows. All vertical sheet edges around these breaks are fixed at every rib. 10mm bolt and washer through bottom plate to foundation to be located at the stud at the ends of each panel.

**NOTE**

1. Fix weather board with  $\phi$  2.8 Flat Head galvanised nails.
2. Locate nails as indicated on the drawing of a wall section. All sheet edges to be fixed to studs at 600crs plus intermediate nailing between sheet edges at every alternate rib. Fixing along the vertical sheet edges to be at every rib.
3. "Bracing Ability" Provided the weatherboard sheet iron (as shown across) is fixed in accordance with notes 1 & 2 and laid out as drawn, a 2400 mm section can replace the requirement of a single length of Angle Brace as specified on Sheet No 124.

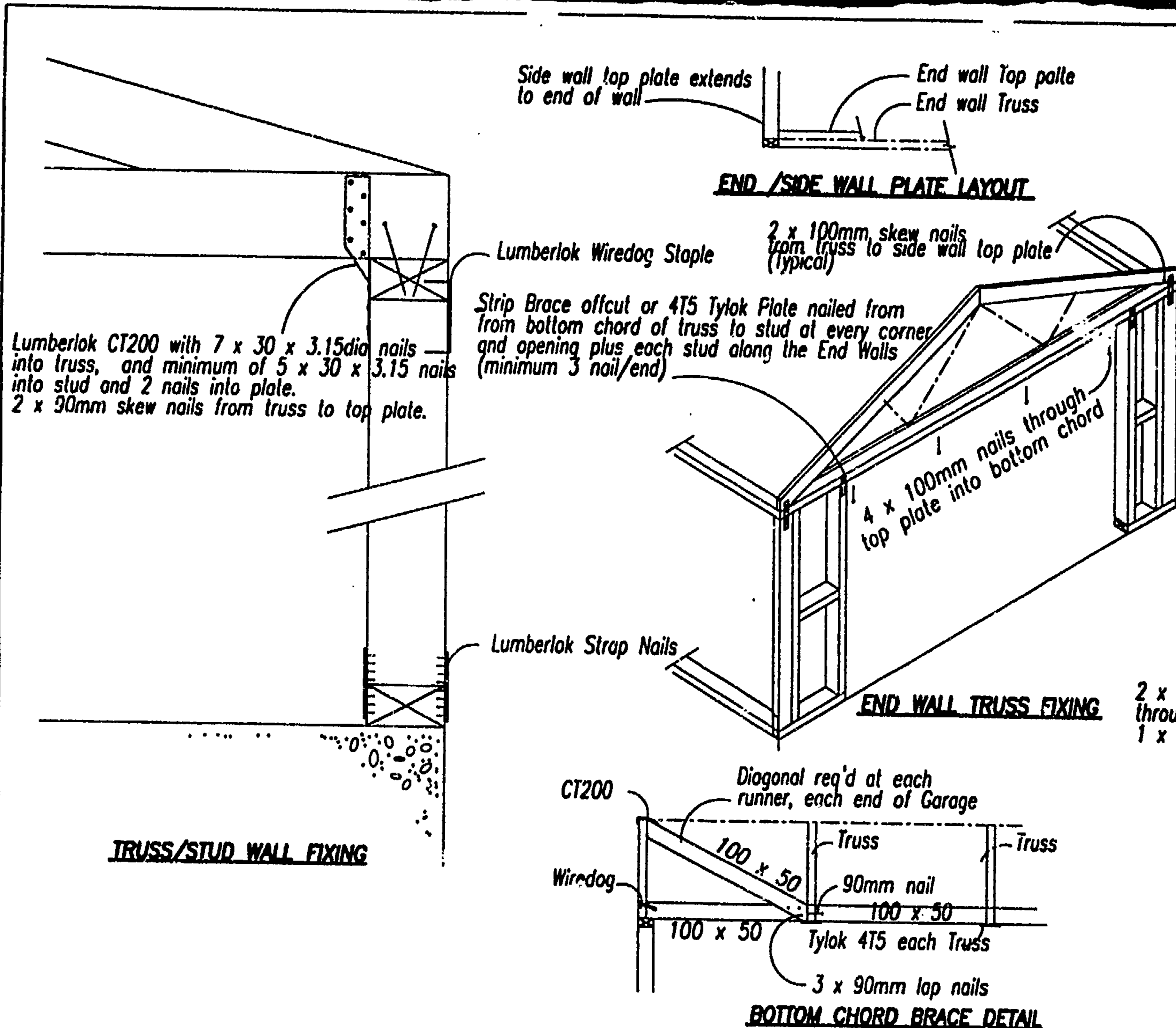
Refer to :  
 "Load Rating of Versatile Timber Frame Garage Wall"  
 prepared by: J.A. Dean  
 Reg Structural Engineer,  
 University of Canterbury.  
 October 1989.

This report is available for inspection from:  
 Versatile Garages Ltd,  
 Springs Road,  
 CHRISTCHURCH.

**GANG-NAIL - LUMBERLOK**  
 designed by  
**TIMBER ENGINEERING CONSULTANTS**  
 Auckland Office: 2-5 Johnson Drive, East Tamaki, P.O. Box 22014, East Tamaki, Phone 2941100, Auckland.  
 Christchurch Office: 100-102, South Beach, P.O. Box 2237, Christchurch, Phone 222-2227, Fax 222-2114.

**VERSATILE GARAGE DRAWINGS**

DRAWING  
**WEATHERBOARD BRACING ELEMENT**  
 of Date & Design: SA COLE & M.M.  
 Drawing No: CH3900



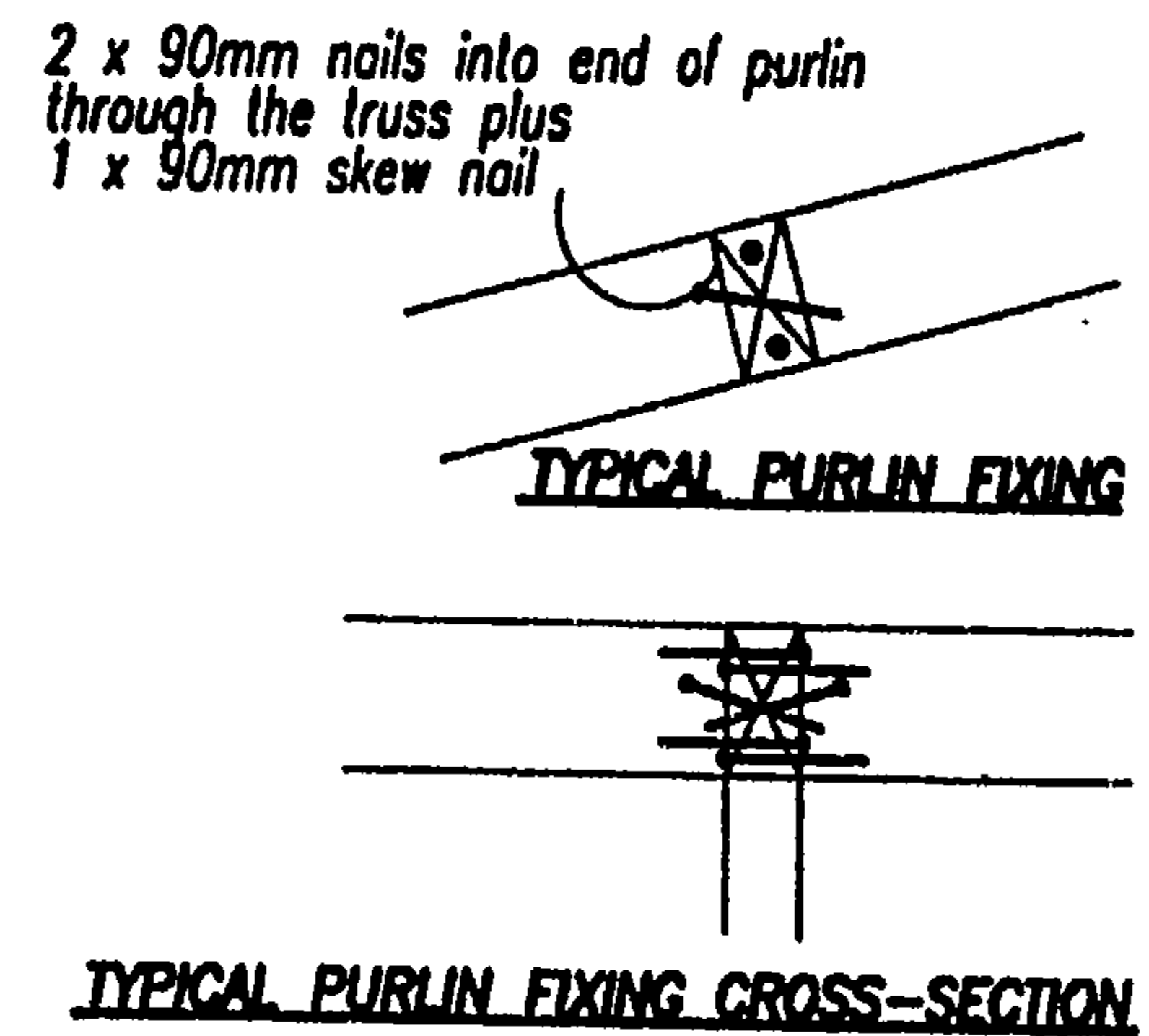
**LOAD DETAILS**

Live Load = 0.25Kpa (top chord)  
 Dead Load = 0.20 Kpa (top chord)  
 Wind Load Cpi = 0.50 max  
                   Cpi = 0.80 max  
 Purlin Spacing = 1100 max

**TRUSS FIXINGS**

WIND LOAD	TRUSS CENTRES	MAX TRUSS SPAN
Low	2400	9000
Medium	2400	9000
High	2100	9000
Very High	1300	9000
*****		
Low	2400	12000
Medium	2100	12000
High	1800	12000
Very High	1300	12000

**NOTE:**  
 Stud fixings in these two cases require the addition of two x Wire Dog Staples per connection.



**GANG-NAIL - LUMBERLOK**  
 designed by  
**TIMBER ENGINEERING CONSULTANTS**  
 Auckland Office      Christchurch Office  
 2-3 Edenburg Drive, East Tamaki, P.O. Box 8367, Christchurch  
 Phone 2747100, Auckland.      Phone 340-0881 Fax 340-8314

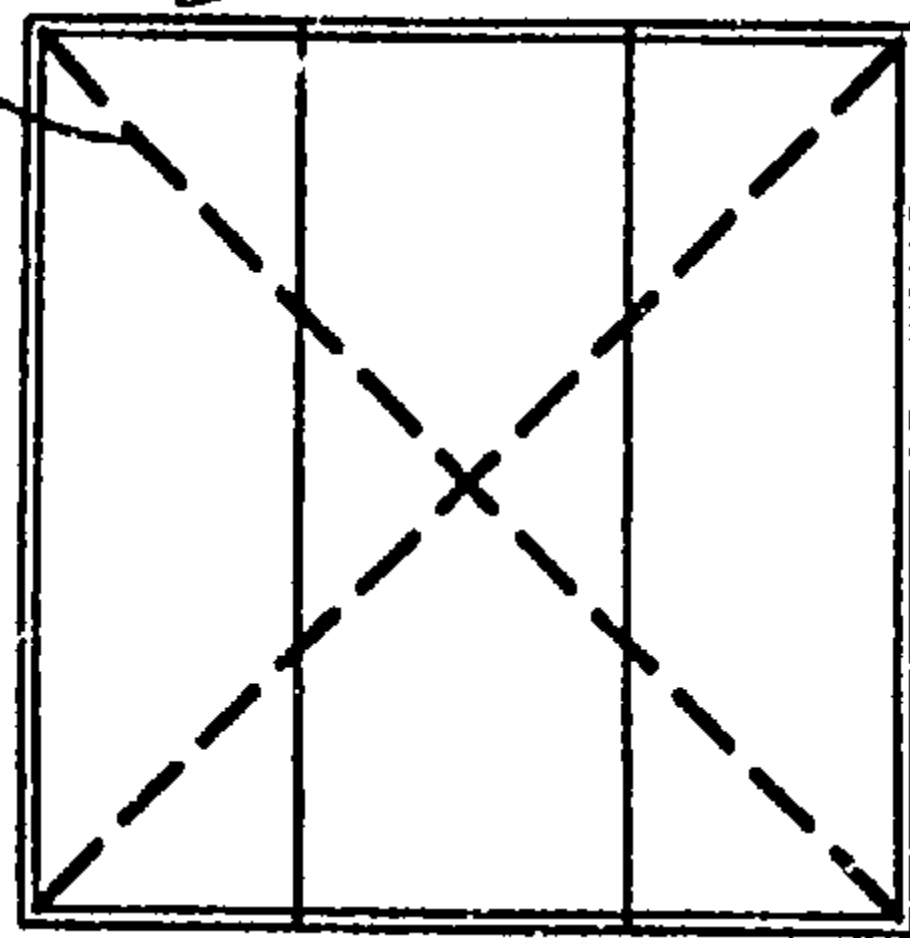
**VERSATILE GARAGE DRAWINGS**

**DRAWING**  
**TRUSS/STUD/PURLIN FIXING DETAILS**  
 DESIGN & DRAWN: S.A. COLE & M.M.      DRAWING NO: CH3900  
 DATE: 2 November 1995      SHEET NO: 103

**BRACING NOTES**

1. The bracing effect of a single angle brace can be substituted by a 2400mm panel of weatherboard as detailed on Sheet No 105
2. Indicates a single row of Lumberlok Strip Brace tensioned up and laid over the top of purlins. Fix each end with 3 x 75 x 3.15 nails. (typical)

Indicates a single length of Angle Brace in wall set at approx 45°  
Fix each end with 3 x 60 x 3.15 nails and at each stud crossing with 2 x 60 x 3.15 nails (typical)



**BRACING KEY**

"Effective" truss centres = 4200 - 2 ie 2100  
100 x 50 Dragon Ties at 45° in plane of bottom chord of truss

3. Building dimension ratios of Side Wall to End Wall must not exceed 1 to 2 (horizontal) for Low, Medium and High wind zones. Where the ratio is between 1 to 1.5 and 1 to 2, a double row of strip brace is required or triple row in the case of 12m x 12m for High wind. (shown thus: ---) on the corner to corner lines. The ratio of 1 to 1.5 and below requires single rows only.
4. Maximum Stud height of Building is 2.450m

NB Double row of strip bracing required in all buildings in Very High Wind Zone  
Building ratio of End Wall to Side Wall must not exceed 1 to 1.5

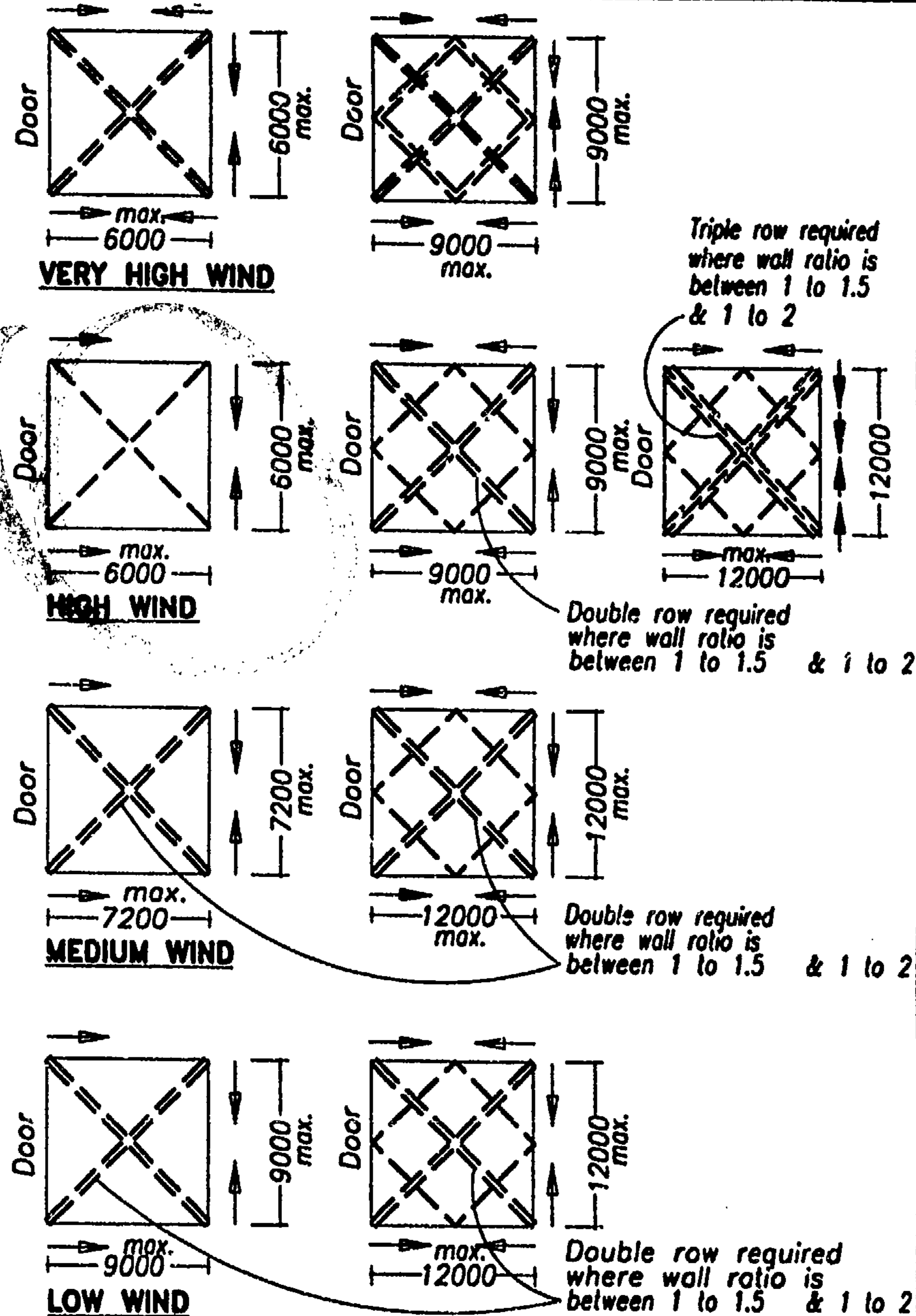
Fix to top plate with 4 x 90 nails

100 x 50 Dragon Ties at 45° in plane of bottom chord of truss

Fix to top plate with 4 x 90 nails

Fix to top plate with 4 x 90 nails

100 x 50 Dragon Ties at 45° in plane of bottom chord of truss



**GANG-NAIL - LUMBERLOK**  
designed by  
**TIMBER ENGINEERING CONSULTANTS**  
Auckland Office: 3-3 Teitoku Drive, East Tamaki, Solihua Place, P.O. Box 88014, East Tamaki, Phone 2747100, Auckland.  
Christchurch Office: P.O. Box 8347, Christchurch, Phone 348-8891 Fax 348-8314

**VERSATILE GARAGE DRAWINGS**

**DRAWING WINDLOAD BRACING REQUIREMENTS**  
DESIGN & DRAWING: S.A. COLE & M.M.  
DATE: 2 November 1995  
DRAWING No: CH3900  
SHEET No: 104-B